

ADMINISTRATIVE SHORT PLAT REPORT & DECISION

A. SUMMARY AND PURPOSE OF REQUEST

REPORT DATE:	October 15, 2014		
Project Name:	Limelite Short Plat		
Project Number:	LUA14-001083; SHPL-A		
Project Manager:	Kris Sorensen, Associate Planner		
Owner:	Virtuoso Ventura 6 LLC; 14508 NE 20 th St, #200; Bellevue WA 98007		
Applicant:	Todd Karam; Limelite Development; 14508 NE 20 th St, #200; Bellevue WA 98007		
Contact:	Andy McAndrews; GeoDimensions Inc; 10801 Main St Suite 200; Bellevue WA 98004		
Project Location:	16204 114 th Ave SE		
Project Summary:	The applicant is requesting administrative Short Plat review of an R-8 zone, 29,912 sf corner lot, to be subdivided into 5 single family residential lots. A storm water detention area would be located in the southwest corner of the site. Density would be 7.8 du/ac. The existing home would be demolished. Vehicle access to proposed lots would be from SE 162nd St and 114th Ave SE for Lots 1-4, and for Lot 5, there would be an easement across Lot 4 that provides connection to 114th Ave SE. Lot sizes range from 8,834 sf to 5,034 sf. Studies submitted include tree inventory, geotechnical report, technical information report with drainage information, and landscape analysis. Street improvements including planter strip and sidewalk would be installed along the subject site.		
Exist. Bldg. Area SF:	1,270 sf	Proposed New Bldg. Area (footprint):	N/A
		Proposed New Bldg. Area (gross):	N/A
Site Area:	29,912 sf (0.69-acre)	Total Building Area GSF:	N/A



Project Location Map

B. EXHIBITS:

- Exhibit 1: Administrative Short Plat Report and Decision
- Exhibit 2: Neighborhood Detail
- Exhibit 3: Short Plat Layout
- Exhibit 4: Density Worksheet
- Exhibit 5: Tree Retention Worksheet
- Exhibit 6: Storm Drain Extension, 114th Ave SE
- Exhibit 7: Paving and Grading Plan
- Exhibit 8: Geotechnical Report, prepared by PanGEO Inc, dated June 24, 2014
- Exhibit 9: Technical Information Report, prepared by Springline Design LLC, dated July 7, 2014
- Exhibit 10: Topographic and Tree Survey
- Exhibit 11: Conceptual Landscape Plan
- Exhibit 12: Schools for attendance
- Exhibit 13: Schools bussing/walking commute information
- Exhibit 14: Public comments
- Exhibit 15: Advisory Notes / Review Comments

C. GENERAL INFORMATION:

- 1. **Owner(s) of Record:** Virtuoso Ventura 6 LLC
14508 NE 20th St, #200; Bellevue, WA 98007
- 2. **Zoning Designation:** Residential 8 (R-8)
- 3. **Comprehensive Plan Land Use Designation:** Residential Single Family (RSF)
- 4. **Existing Site Use:** Single Family Residential
- 5. **Neighborhood Characteristics:** Single Family Residential
 - a. **North:** *Single family residential uses in R-8 zone*
 - b. **East:** *Single family residential uses in R-8 zone*
 - c. **South:** *Single family residential uses in R-8 zone*
 - d. **West:** *Single family residential use in R-8 zone*
- 6. **Access:** The site is a corner lot with access to both SE 162nd St and 114th Ave SE.
- 7. **Site Area:** 29,912 sf (0.69-acre)

D. HISTORICAL/BACKGROUND:

<u>Action</u>	<u>Land Use File No.</u>	<u>Ordinance No.</u>	<u>Date</u>
Comprehensive Plan	N/A	5099	11/01/2004
Zoning	N/A	5100	11/01/2004
Annexation, Benson Hill	N/A	5327	03/01/2008

E. PUBLIC SERVICES:**1. Utilities**

- a. Water: Water service is provided by Soos Creek Water and Sewer District.
- b. Sewer: Water service is provided by Soos Creek Water and Sewer District.
- c. Surface/Storm Water: There are no drainage improvements in SE 162nd St or 114th Ave SE.

2. Streets: There are no street improvements fronting the site in 114th Ave SE or SE 162nd St. Both streets are classified as Residential Access roads.**3. Fire Protection:** Service provided by City of Renton Fire Department.**F. APPLICABLE SECTIONS OF THE RENTON MUNICIPAL CODE:****1. Chapter 2 Land Use Districts**

- a. Section 4-2-020: Purpose and Intent of Zoning Districts
- b. Section 4-2-070: Zoning Use Table
- c. Section 4-2-110: Residential Development Standards
- d. Section 4-2-115: Residential Design and Open Space Standards

2. Chapter 4 Property Development Standards

- a. Section 4-4-070: Landscaping Regulations
- b. Section 4-4-080: Parking, Loading, and Driveway Regulations
- c. Section 4-4-130: Tree Retention and Land Clearing Regulations

3. Chapter 6 Streets and Utility Standards

- a. Section 4-6-030: Drainage (Surface Water) Standards
- b. Section 4-6-060: Street Standards

4. Chapter 7 Subdivision Regulations

- a. Section 4-7-070: Detailed Procedures for Short Subdivisions
- b. Section 4-7-120: Compatibility with Existing Land Use and Plan – General Requirements and Minimum Standards
- c. Section 4-7-150: Streets – General Requirements and Minimum Standards
- d. Section 4-7-170: Residential Lots – General Requirements and Minimum Standards

5. Chapter 11 Definitions**G. APPLICABLE SECTIONS OF THE COMPREHENSIVE PLAN:**

- 1. Land Use Element: Residential Single Family (RSF) land use designation
- 2. Community Design Element

H. DEPARTMENT ANALYSIS:**1. Project Description/Background**

The applicant, Todd Karam, has requested preliminary short plat approval for a 5-lot short plat. The applicant is proposing to subdivide a 0.69-acre (29,912 sf) site within the Benson

community of Renton, zoned Residential-8 (R-8) dwelling units per acre (du/ac) into five lots (Exhibit 5).

City Council adopted Ordinance 5724 to provide interim zoning standards for the R-8 zone. The legislation and interim standards became effective at the time of Council approval on September 22nd, 2014. The Limelite Short Plat application was determined a complete application on August 12, 2014, and therefore, is vested to the R-8 standards as were allowed prior to the Council adoption of Ordinance 5724.

The area is designated Residential Single Family (RSF) in the City of Renton Comprehensive Land Use Plan. The subject site has an existing single family home that is proposed to be demolished. The subject site is a corner lot and is located at the southeast corner of SE 162nd St and 114th Ave SE in the Cascade neighborhood area. The proposal for five lots would arrive at a net density of 7.8 du/ac (Exhibit 4). Lot sizes for the residential parcels range from 8,834 sf to 5,039 sf. Access to the lots vary between the two abutting streets, with proposed curb cuts from SE 162nd St for Lot 2 and Lot 1, curb cuts from 114th Ave SE for Lot 3, Lot 4, and Lot 5 would have an easement across Lot 4 for a private driveway (Exhibit 7). Right-of-way dedication is proposed at the northwest corner of the subject site for intersection radius, with a triangular area dedicated of 48 sf (Exhibit 5).

Site improvements include grading, stormwater facilities, utility connections, and landscaping. Off-site improvements would be required. There are no existing frontage improvements on either street currently and street improvements are proposed that would include sidewalks and planter strips. A storm drain extension is proposed in 114th Ave SE to the subject site. A sanitary sewer main extension is proposed in SE 162nd St.

Site topography is generally flat, with approximately a 1% slope across the property (Exhibit 10). For existing trees, there are 12 trees with 6-inch diameters or greater on-site as shown on the site and tree survey (Exhibit 10) and as identified in the Tree Retention Worksheet (Exhibit 5). The existing tree on site are located near the north and west property boundaries. No critical areas are present on-site.

2. Environmental Review

Except when located on lands covered by water or sensitive areas, short plats are exempt from SEPA Environmental Review pursuant to WAC 197-11-800(6)(a).

As part of the geological assessment, the applicant describes the coal mine hazards mapped by the City off-site (Exhibit 8, page 5). It should be noted that these hazards are not located on-site, but the site is within a distance to provide further analysis. Based on the geotechnical engineer's analysis, the mines appear to be located at least two blocks to the north and northwest of the subject site and does not extend into the boundaries of the subject property.

3. Staff Review Comments

Representatives from various city departments have reviewed the application materials to identify and address issues raised by the proposed development. These comments are

contained in the official file, and the essence of the comments have been incorporated into the appropriate sections of this report and the "Advisory Notes to the Applicant" (Exhibit 15).

4. Comment from the Public

One public comment was received and no comments were received from agencies. The public comment (Exhibit 14) specifically states that larger yards and more green landscaping for the new residential lots would fit better in the neighborhood and that the neighborhood is home to mammals, birds, amphibians and beneficial insects. The commenter further states that any pollution from the site eventually impacts the Duwamish watershed and Puget Sound and that retaining and planting more trees and shrubs helps prevent runoff and reduces noise and air pollution. Additionally, the commenter states a storm retention pond surrounded by fencing is unsightly and rain gardens would be more aesthetically pleasing. For street improvements, the commenter states that the construction of any sidewalk would hopefully not narrow the road as parked cars impede traffic flow.

5. Consistency with Short Plat Criteria

Approval of a short plat is based upon several factors. The following short plat criteria have been established to assist decision-makers in the review of the short plat:

I. FINDINGS:

Having reviewed the written record in the matter, the City now enters the following:

- 1. Request:** The project proponent has requested approval of a short plat subdivision of a 29,912 sf corner (0.69-acre) property in the Cascade community into 5 lots suitable for development with single-family residential structures, where the existing single-family dwelling would be demolished. The project would have a density of 7.8 du/ac.
- 2. Application:** The subject site is owned by Virtuoso Venture 6 LLC; 14508 NE 20th St, Suite 200, Bellevue, WA 98007.
- 3. Comprehensive Plan:** The property has a Comprehensive Plan land use designation of Residential Single-Family (RSF). The proposed project furthers the objectives and policies of the RSF section of the Land Use Element of the Comprehensive Plan. The objectives and policies of the Community Design Element are also supported by the project as it has been proposed.
- 4. Zoning:** Objectives and policies of the RSF designation are implemented by standards and regulations of the Residential 8 zone. The project, as proposed, meets or exceeds the R-8 zone standards and regulations, if conditions of approval are met.
- 5. Subdivision Regulations:** The short plat, as proposed, would meet the requirements of RMC 4-7 Subdivision Regulations, if conditions of approval are met.
- 6. Existing Land Uses:** The site consists of one parcel with an existing family home and accessory structure, which is proposed to be removed
- 7. Setbacks:** Minimum setback requirements of the R-8 zone could be met.
- 8. Short Plat Review Criteria:** Approval of a plat is based upon several factors. The following short plat criteria, in the matrix below, have been established to assist decision-makers in the review

of the plat. The criteria are evaluated on compliancy, and the depth of compliance is provided through a denotation next to the criteria text as follows: (✓ Compliant; Note 1: Partially compliant; Note 2: Not compliant; Note 3: Compliance not yet demonstrated).

	<p>1. CONFORMANCE WITH THE COMPREHENSIVE PLAN: The site has the Comprehensive Land Use designation of Residential Single Family (RSF). Land designated RSF is intended to be used for high quality detached, single-family residential development organized into neighborhoods at urban densities. It is intended that larger subdivisions, infill development, and rehabilitation of existing housing be carefully designed to enhance and improve the quality of single family living environments. The proposal is consistent with the following Comprehensive Plan Land Use and Community Design Element policies, if all conditions of approval are met, unless noted otherwise:</p>
✓	<p>Policy LU-158. Net development densities should fall within a range of 4 to 8 dwelling units per acre in Residential Single Family Neighborhoods.</p> <p>Staff Comment: <i>The proposed density would be 7.8 du/ac (Exhibit 16). The proposed density is within the required range.</i></p>
✓	<p>Objective CD-C. Promote reinvestment in and upgrade of existing residential neighborhoods through redevelopment of small, underutilized parcels with infill development, modification and alteration of older housing stock, and improvements to streets and sidewalks to increase property values.</p> <p>Staff Comment: <i>Five new residential parcels would be created for infill, where an existing single-family dwelling constructed in the 1940s would be demolished.</i></p>
✓	<p>Policy CD-12. Sidewalks or walking paths should be provided along streets in established neighborhoods, where sidewalks have not been previously constructed. Sidewalk width should be ample to safely and comfortably accommodate pedestrian traffic and, where practical, match existing sidewalks.</p> <p>Staff Comment: <i>The property is a corner lot, with street frontage along SE 162nd St of approximately 200 feet in length, and approximately 150 feet in length along 114th Ave SE (Exhibit 10). There are no street improvements on either right-of-way (Exhibit 15 – Engineering Review, Existing Conditions subsection). Proposed street improvements would include curb, gutter, planter strip and sidewalk for both street frontage of subdivision. The applicant proposes to install the improvements on both streets, and additionally dedicate right-of-way area at the southeast corner of the intersection for the required corner radius at the intersection. There are no street frontage improvements along the frontage of any surrounding streets.</i></p>
✓	<p>Policy CD-14. Infill development, defined as new short plats of nine or fewer lots, should be encouraged in order to add variety, updated housing stock, and new vitality to neighborhoods.</p> <p>Staff Comment: <i>The five proposed lots would allow for updated housing stock.</i></p>

<div>Note 3</div>	<p>Policy CD-15. Infill development should be reflective of the existing character of established neighborhoods even when designed using different architectural styles, and /or responding to more urban setbacks, height or lot requirements. Infill development should draw on elements of existing development such as placement of structures, vegetation, and location of entries and walkways, to reflect the site planning and scale of existing areas.</p> <p>Staff Comment: Detailed site and architectural designs, will be reviewed to determine compatibility with the context of the site, at the time building permits are submitted.</p>				
<p>2. COMPLIANCE WITH THE UNDERLYING ZONING DESIGNATION: Objectives and policies of the Comprehensive Land Use Plan Residential Single Family designation are implemented by Residential 8 zoning (R-8). RMC 4-2-110A provides development standards for development within the R-8 zoning classification. The proposal is consistent with the following development standards if all conditions of approval are met, unless noted otherwise:</p>					
<div>✓</div>	<p>Density: The minimum density allowed in the R-8 zone is 4 dwelling units per net acre (du/ac). The maximum density permitted in the R-8 zone is 8.0 du/as. Net density is calculated after the deduction of critical areas, areas intended for public rights-of-way, and private access easements. Calculations for minimum or maximum density that result in a fraction that is 0.50 or greater shall be rounded up to the nearest whole number. Those density calculations resulting in a fraction that is less than 0.50 shall be rounded down to the nearest whole number.</p> <p>Staff Comment: After deducting 48 sf for right-of-way dedications and 1,980 sf for access easement across Lot 4 from the 29,912 gross sf of the site, the net square footage would be 27,884 sf (0.64 net acres). The 5-lot proposal would arrive at a net residential density of 7.8 dwelling units per acre (5 units / 0.64 acres = 7.8 du/ac), which falls within the permitted density range for the R-8 zoning classification.</p>				
<div>✓</div>	<p>Lot Dimensions: Staff Comment: R-8 Standards apply:</p>				
	<table><tr><td>Proposed Lots (Exhibit 3)</td><td>Lot Size 5,000 SF minimum</td><td>Width minimum 50 feet-interior; 60 feet-corner</td><td>Depth 65 feet minimum</td></tr></table>	Proposed Lots (Exhibit 3)	Lot Size 5,000 SF minimum	Width minimum 50 feet-interior; 60 feet-corner	Depth 65 feet minimum
	Proposed Lots (Exhibit 3)	Lot Size 5,000 SF minimum	Width minimum 50 feet-interior; 60 feet-corner	Depth 65 feet minimum	
	<table><tr><td>Lot 1 - Interior</td><td>5,039 sf</td><td>50.6 ft</td><td>99.5 ft</td></tr></table>	Lot 1 - Interior	5,039 sf	50.6 ft	99.5 ft
	Lot 1 - Interior	5,039 sf	50.6 ft	99.5 ft	
	<table><tr><td>Lot 2 - Interior</td><td>5,034 sf</td><td>50.65 ft</td><td>99.4 ft</td></tr></table>	Lot 2 - Interior	5,034 sf	50.65 ft	99.4 ft
	Lot 2 - Interior	5,034 sf	50.65 ft	99.4 ft	
<table><tr><td>Lot 3 - Corner</td><td>5,892 sf</td><td>60.0 ft</td><td>99.0 ft</td></tr></table>	Lot 3 - Corner	5,892 sf	60.0 ft	99.0 ft	
Lot 3 - Corner	5,892 sf	60.0 ft	99.0 ft		
<table><tr><td>Lot 4 - Interior</td><td>8,834 gross sf 6,854 net sf</td><td>89.32 ft</td><td>99.0 ft</td></tr></table>	Lot 4 - Interior	8,834 gross sf 6,854 net sf	89.32 ft	99.0 ft	
Lot 4 - Interior	8,834 gross sf 6,854 net sf	89.32 ft	99.0 ft		
<table><tr><td>Lot 5 - Interior</td><td>5,065 sf</td><td>50.0 ft</td><td>101.3 ft</td></tr></table>	Lot 5 - Interior	5,065 sf	50.0 ft	101.3 ft	
Lot 5 - Interior	5,065 sf	50.0 ft	101.3 ft		
	<p>Setbacks: The minimum front yard setback in the R-8 zone is 15 feet; minimum side yard</p>				

✓	<p>is 5 feet and, minimum side yard along a street 15 feet for the primary structure; minimum rear yard is 20 feet.</p> <p>Staff Comment: For all lots, there is sufficient area for new residential structures that would comply with setbacks. All proposed buildings would be reviewed for setbacks at time of building permit.</p> <p>The site currently contains one single family residence and a detached structure all of which are proposed to be removed. Staff recommends, as a condition of approval that all structures proposed for removal be demolished prior to Final Plat approval.</p>
Note 3	<p>Building Standards: The R-8 zone permits one single family residential structure per lot. Accessory structures are permitted at a maximum number of two per lot with a maximum size of 720 square feet each, or a maximum of one per lot with a maximum of 1,000 square feet. Accessory structures are permitted only when associated with a primary structure located on the same parcel of land.</p> <p>The maximum building height in the R-8 zone is 30 feet. <u>Building height</u> is based on the measurement of the vertical distance from the grade plane to the average height of the roof surface. The <u>grade plane</u> is the average of existing ground level adjoining the building at exterior walls. Where the finished ground level slopes away from the exterior walls, the reference plane shall be established by the lowest points within the area between the building and the lot line, or where the lot line is more than 6 feet from the building, between the building and a point 6 feet from the building.</p> <p>The maximum building coverage in the R-8 zone, for lots larger than 5,000 sf, is 35 percent or 2,500 sf, whichever is greater.</p> <p>The maximum impervious surface area is 75 percent.</p> <p>Staff Comment: For all lots, building elevations, floor plans and a site plan, which would be used to determine building height, building coverage and impervious surface coverage, have not been submitted. They would be submitted for building permit review (compliance not yet demonstrated).</p>
✓	<p>Landscaping: Landscaping is required for all subdivisions including short plats. A detailed landscape plan is usually required to be approved prior to issuance of street or utility construction permits.</p> <p>A ten foot-wide on-site landscaped area is required along all public street frontages, with the exception of areas for required crosswalks and driveways. This landscaped area shall be on-site and shall include a mixture of trees, shrubs and ground cover. Two trees are required in the front yard of each lot.</p> <p>For street improvements, and street trees and landscaping required within the right-of-way, a minimum planting strip width between the curb and sidewalk are established according to the street development standards of RMC 4-6-060. Street trees and, at a minimum, groundcover per subsection 4-4-070 L2, are to be located in this area when present. Spacing standards shall be as stipulated by the Department of Community and Economic Development, provided there shall be a minimum of one street tree planted per address. Any additional undeveloped right-of-way areas shall be landscape unless</p>

	<p>otherwise determine by the Administrator. Refer to the City's Approved Tree list and spacing standards available through the Department of Community and Economic Development and on the City's website.</p> <p>Staff Comment: <i>The applicant submitted a conceptual landscape plan (Exhibit 11) for on-site landscape improvements and trees to be removed and retained. The applicant submitted off-site improvements for the two abutting streets with planting strip widths identified, but no landscaping and street trees identified. For the on-site improvements, no landscaping is required for Lot 5 as it is not along a street frontage but is allowed. Additionally, curb cuts are not shown on the provided landscape plan, therefore the plan does not around for necessary driveways and access points. Existing vegetation along SE 162nd St for Lots 2 and 3 would be used to meet the required on-site landscaping (see additional dissection below under tree retention). Therefore, as there are no street trees shown in the off-site planter strips, it is unclear if all proposed trees for retention will be able to be retained, and driveways for each lot should be identified where landscaping cannot be planted, staff recommends, as a condition of approval, that on-site and off-site landscape plans that are consistent with code be provided to, and approved by, the Current Planning Project Manager prior to construction permit approval. The applicant shall be required to submit a revised landscape plan, depicting a 10-foot wide on-site landscape strip for all lots with the identified driveway cuts. The applicant shall be required to submit a landscape plan for the off-site landscaping planter strips in the roadway with proper spacing and species identified according to the spacing standards and approved tree list available on the City's website.</i></p>
✓	<p>Tree Retention: Existing trees shall be retained where feasible. RMC 4-4-130 requires 30 percent of trees to be retained. If the required number of trees cannot be retained, they must be replaced according to RMC 4-4-130H.</p> <p>Staff Comment: <i>According to the site and tree survey there are 12 significant trees 6-inch in diameter or greater on the site (Exhibit 10). The Tree Retention Worksheet (Exhibit 5) shows that 3.6 trees would need to be retained to meet the 30 percent requirement for the zone. The applicant's proposal is to retain 9 trees which is greater than the retention requirement of 3.6 trees resulting in 75 percent of the tree to be retained. The trees to be retained are shown on the Tree Retention Plan (Exhibit 11), with three (numbers 1-3) located along the 114th right-of-way and 9 (numbers 4-12) located along the SE 162nd St. Staff recognizes that the proposed trees to be retained are within close proximity to proposed street improvements and the future footprint of the home to be constructed on Lot 3. Mature trees such as the ones on-site and identified to be retained may not be able to be protected through the installation of utilities, street improvements, and earthwork that may be required as part of site development. Based on the identified drip lines the street improvements would impact all the drip lines of the trees proposed to be retained. As such staff recommends, as a condition of approval, that an arborist report be prepared by the developer, reviewed and approved by the Current Planning Project Manager. The arborist report shall identify if the trees can be retained throughout construction and not impact the health of the tree. If it is identified that the trees identified for retention cannot be retained through construction, an update tree retention</i></p>

	<p>plan and if necessary tree replacement plan shall be provided for approval prior to construction permit issuance.</p> <p>Additionally, as part of site improvements and to assist in the healthy retention of trees to be kept as part of the short plat process and construction of new homes, there are requirements to buffer retained trees from construction equipment and as part of the site development process (Exhibit 15 – Advisory notes).</p>
✓	<p>Parking: Off-street parking for 2 vehicles per residential unit is required.</p> <p>Staff Comment: There is sufficient space to provide on-site parking on the proposed lots. All proposed buildings would be reviewed for parking requirements at time of building permit.</p>
<p>3. DESIGN STANDARDS: Residential Design and Open Space Standards (RMC 4-2-115) are applicable in the R-8 zone. The Standards implement policies established in the Land Use and Community Design Elements of the Comprehensive Plan. Compliance with Site Design Standards must be demonstrated prior to approval of the subdivision. Compliance with Residential Design Standards would be verified prior to issuance of building permits. The proposal is consistent with the following design standards, unless noted otherwise:</p>	
✓	<p>Lot Configuration: Standards apply to subdivisions of 4 or more street-fronting lots. Variety in the configuration of lots enhances the image of variety of housing stock and helps minimize perceptions of monotony. One of the following is required:</p> <ol style="list-style-type: none"> 1. Lot width variation of 10 feet minimum of one per four abutting street-fronting lots, or 2. Minimum of four lot sizes (minimum of 400 gross square feet size difference), or 3. A front yard setback variation of at least 5 feet minimum for at least every four abutting street fronting lots. <p>Staff Comment: The 5-lot subdivision has four street-fronting lots in sequence, or abutting, around the corner at SE 162nd St and SE 114th Ave SE so the Lot Configuration requirement applies to the proposal (Exhibit 3). Lots 1 and 2 have lot widths of approximately 50 ft, and Lot 3 has a width of approximately 60 ft, and Lot 4 has a width of approximately 89 ft. Therefore, of the four abutting street-fronting lots, there is a minimum lot width variation of at least 10 feet between Lots 1 and 2, and Lots 3 and 4, which complies with the first requirement of the Lot Configuration standard.</p>
Note 3	<p>Garages: The minimization of the visual impact of garages contributes to creating communities that are oriented to people and pedestrians, as opposed to automobiles. One of the following is required (some options are not listed here due to lack of site feasibility, i.e. garages accessed from alley):</p> <ol style="list-style-type: none"> 1. Recessed from the front of the house and/or front porch at least 8 feet, or 2. Located so the roof extends at least 5 feet (excluding eaves) beyond the front of the garage for at least the width of the garage, plus the porch/stoop area, or 3. Sized so that it represents no greater than 50 percent of the width of the front façade at ground level, or

	<p>4. Detached.</p> <p>The portion of the garage wider than 26 feet across the front shall be set back at least 2 feet.</p> <p>Staff Comment: For the lots, building plans, which would be used to determine visual impact of garages, have not been submitted yet. They would be submitted for building permit review (compliance not demonstrated).</p>
Note 3	<p>Primary Entry: Entrances to houses shall be a focal point and allow space for social interaction. One of the following is required:</p> <ol style="list-style-type: none"> 1. Stoop: minimum 4 feet by 6 feet and 12 inches above grade, or 2. Porch: minimum 5 feet deep and 12 inches above grade. <p>Exception: An ADA accessible route may be taken from a front driveway.</p> <p>Staff Comment: For the lots, building designs, which would be used to evaluate design of entrances, have not been submitted yet. They would be submitted for building permit review (compliance not demonstrated).</p>
Note 3	<p>Façade Modulation: Buildings shall not have monotonous facades along public areas. One of the following is required:</p> <ol style="list-style-type: none"> 1. An offset of at least one story that is at least 10 feet wide and 2 feet in depth on façades visible from the street, or 2. At least a 2-foot offset of second story from first story on one street-facing façade. <p>Staff Comment: For the lots, building designs, which would be used to evaluate design of façades, have not been submitted yet. They would be submitted for building permit review (compliance not demonstrated).</p>
Note 3	<p>Windows and Doors: Windows and front doors are an integral part of the architectural character of a house. Windows and doors shall constitute 25 percent of all façades facing street frontage or the front yard for homes not facing a public street.</p> <p>Staff Comment: Building designs which would be used to evaluate design of windows and doors, have not been submitted yet. They would be submitted for building permit review (compliance not demonstrated). One corner lot is being created through the subdivision, therefore, as a condition of approval, staff recommends that the Lot 3 corner lot be required to have 25 percent openings of windows and/or doors on the two facades facing public streets.</p>
Note 3	<p>Scale, Bulk, and Character: Neighborhoods shall have a variety of home sizes and character. Abutting houses shall have differing architectural elevations.</p> <p>Staff Comment: For the lots, building designs, which would be used to evaluate scale, bulk, and character of structures, have not been submitted yet. They would be submitted for building permit review (compliance not demonstrated).</p>
Note 3	<p>Roofs: Roof forms and profiles are an important architectural component. One of the following is required:</p>

	<ol style="list-style-type: none"> 1. Hip or gabled roof with at least a 6:12 pitch for the prominent form of the roof (dormers, etc.), may have lesser pitch, or 2. Shed roof. <p>Staff Comment: For the lots, building designs, which would be used to evaluate roof forms, have not been submitted yet. They would be submitted for building permit review (compliance not demonstrated).</p>
Note 3	<p>Eaves: Eaves and overhangs act as unifying elements in the architectural character of a house. Both of the following are required:</p> <ol style="list-style-type: none"> 1. Eaves projecting from the roof of the entire building at least 12 inches with horizontal fascia or fascia gutter at least 5 inches deep on the face of all eaves, and 2. Rakes on gable ends must extend a minimum of 2 inches from the surface of exterior siding materials. <p>Staff Comment: For the lots, building designs, which would be used to evaluate design of eaves and overhangs, have not been submitted yet. They would be submitted for building permit review (compliance not demonstrated).</p>
Note 3	<p>Architectural Detailing: Architectural detailing contributes to the visual appeal of a house and the community. If one siding material is used on any side of the dwelling that is two stories or greater in height, a horizontal band that measures at least 8 inches is required between the first and second story. Also, one of the following is required:</p> <ol style="list-style-type: none"> 1. Minimum 3-1/2 inch trim surrounds all windows and details all doors, or 2. A combination of shutters and minimum 3-1/2 inch trim details all windows and minimum 3-1/2 inch details all doors. <p>Staff Comment: For the lots, building designs, which would be used to evaluate architectural detailing, have not been submitted yet. They would be submitted for building permit review (compliance not demonstrated).</p>
Note 3	<p>Materials and Color: A variety of materials and color contributes to the diversity of housing in the community. Abutting houses shall be different colors. Color palettes for all new dwellings, coded to the building elevations, shall be submitted for approval. Additionally, one of the following is required:</p> <ol style="list-style-type: none"> 1. A minimum of 2 colors shall be used on the building (a main color with different trim color is acceptable), or 2. A minimum of 2 different siding materials shall be used on the building. One siding material shall comprise a minimum 30 percent of the street-facing façade. If masonry siding is used, it shall wrap the corners no less than 24 inches. <p>Staff Comment: For the lots, building designs, which would be used to evaluate material and color choices, have not been submitted yet. They would be submitted for building permit review (compliance not demonstrated).</p>
<p>4. COMPLIANCE WITH SUBDIVISION REGULATIONS: RMC 4-7 Provides review criteria for proposed subdivisions. The proposed project is consistent with the following subdivision</p>	

regulations if all conditions of approval are complied with:

✓	<p>Access: Each lot must have access to a public street, private road, or by a private access easement per the requirements of the street standards.</p> <p>Staff Comment: Access to the lots vary as there are two streets abutting the site (Exhibit 3). Based on the application materials, it is unclear where the access points to the proposed lots would be located. The discrepancies is between the Preliminary Short Plat Plan (Exhibit 3) created by GeoDimensions and the Paving and Grading Plan created by Springline Design (Exhibit 7). GeoDimensions' plan states there are shared access easements between Lot 1 and Lot 2 and between Lot 3 and Lot 4 as written on the plan, where the Springline Design created plan shows individual driveways for all of the 5 lot. Therefore, staff recommends, as a condition of approval, that the submitted Preliminary Short Plat by GeoDimensions that identifies shared access easements for Lots 1 and 2, and Lots 3 and 4, with a accessess easement for Lot 5 along the southern boundary of the site be the approved access points for the residential lots. The shared driveway access easements shall be recorded on the face of the Short Plat.</p> <p>A curb cut more than 50 feet in distance to an intersection (as shown on Lot 3, Exhibit 7) is not permitted due to safety concerns of vehicles traveling in the roadway and the ingress and egress of vehicles from the lot. Therefore, staff recommends, as a condition of approval, that a curb cut to Lot 3 would not be allowed closer than 50 feet in proximity to the intersection.</p> <p>Given staff's recommended conditions of approval in this section, all relative plans are required to be updated showing the approved curb cut and shared access locations, and provided to and approved by the Current Planning Project Manager as part of the construction permit review process.</p>
✓	<p>Alleys: Alley access is the preferred street pattern for all new residential development in the R-8 zone. New residential development in areas without existing alleys shall utilize alley access for interior lots. The City will consider the following factors in determining whether the use of alleys is not practical: A) Size: The new development is a short plat; B) Topography: The topography of the site proposed for development is not conducive for an alley configuration; C) Environmental Impacts: The use of alleys would have more of a negative impact on the environment than a street pattern without alleys.</p> <p>Staff Comment: The proposal is required to consider alleys as part of the layout because the project is 6 du/ac or greater. Pursuant to criterion A, the subject project is a short plat, therefore an alley is not required.</p>
✓	<p>Streets: The short plat is the subdivision of a corner lot into five lots, with street frontages along both SE 162nd St and 114th Ave SE. Street improvements are required along both streets. Street lighting is required for a five lot short plat.</p> <p>Staff Comment: Both SE 162nd St and 114th Ave SE are classified as Residential Access streets and require 53 feet of width. For both streets there are existing widths of 60 feet.</p>

	<i>Therefore, the applicant is not required to dedicate right-of-way except for a triangular shaped area at the intersection of the streets to provide for minimum radius where the streets connect. Currently, there are no street improvements along either right-of-way. The proposal is to provide required paving, curb, gutter, planter strip, and sidewalk along both street frontages. The planter strip would be 8 ft in width where street trees would be located, and the sidewalk would be 5 ft in width.</i>
N/A	<p>Blocks: Blocks shall be deep enough to allow two tiers of lots.</p> <p>Staff Comment: No new blocks or streets are proposed, therefore the criteria does not apply.</p>
5. AVAILABILITY AND IMPACT ON PUBLIC SERVICES:	
✓	<p>Police: The Renton Police Department has commented that the proposed project would have probable minor impacts.</p>
✓	<p>Fire: Sufficient resources exist to furnish services to the proposed development, subject to the condition that the applicant provides Code required improvements and fees (Exhibit 15, Fire Review subsection).</p> <p>The fire flow requirement for a single-family residence is minimum 1,000 gpm for structures up to 3,600 sf, including attached garage and basement. If dwellings exceed 3,600 sf, a minimum of 1,500 gpm would be required. A minimum of one fire hydrant is required within 300 feet of the proposed buildings and two hydrants if the fire flow requirement increases to 1,500 gpm.</p> <p>A water availability certificate is required from Soos Creek Water and Sewer District. Therefore, staff recommends the certificate be required as part of the construction permit application.</p> <p>Fire Impact Fees shall be paid prior to issuance of building permits. This fee is assessed per new single family lot at the rate in place at the time the building permit is issued. For 2014 and 2015 the fee is \$479.28 per new single family lot and fees may increase year to year. The fee shall be payable to the City as specified by the Renton Municipal Code prior to building permit issuance.</p>
✓	<p>Schools: It is anticipated that the Renton School District can accommodate any additional students generated by this proposal at the following schools (Exhibit 12): Cascade Elementary (0.14 miles from the subject site), Nelsen Middle School (0.49 miles from the subject site) and Lindbergh High School (1.0 miles from the subject site). RCW 58.17.110(2) provides that no subdivision be approved without making a written finding of adequate provisions for safe walking conditions for students who walk to and from school and/or bus stops. Maplewood Elementary and Nelsen Middle Schools are within walking distance of the subject site and Lindbergh High School would require future students to be transported to school via bus (Exhibit 13, bus stop locator). When a school is within walking distance, the school district document text reads "within walking distance" instead of "Eligible". For students that are bused to the High School, there would be a safe route to school.</p> <p>The applicant is proposing street frontage improvements, including sidewalks, along the south side of the street frontage of the property along SE 162nd St and along the east</p>

	<p>side of the street frontage of the property along 114th Ave SE. To the east of the subject site on SE 162nd St, there are no existing sidewalks on the south side of the street. To the south of the subject site, on 114th Ave SE, there are no existing sidewalks on the east side of the street. A safe walking route to Cascade Elementary and Nelsen Middle Schools would necessitate potential improvements to establish a safe route to each of the schools to be walked to. Therefore, staff recommends as a condition of approval that the applicant provide a safe route to school plan to, and approved by, the Current Planning Project Manager, prior to construction permit application.</p> <p>School impact fees shall be paid prior to issuance of building permits. This fee is assessed per new single family lot at the rate in place at the time the building permit is issued. For 2014 the fee is \$5,455 per dwelling, and for 2015 the fee is \$5,541 per dwelling and shall be paid prior to building permit issuance.</p>
✓	<p>Parks: Although there would be no significant impacts to the City of Renton Park System anticipated from the proposed project, an impact fee is required of all new residential development.</p> <p>Park impact fees shall be paid prior to issuance of building permits. This fee is assessed per new single family lot at the rate in place at the time the building permit is issued. For 2014 the fee is \$963.01 per dwelling and for 2015, the fee is \$1,395.25.</p>
Note 1	<p>Stormwater: A drainage report was submitted by Springline Design LLC (Exhibit 9) with the land use application, dated July 7, 2014. The drainage report complies with the 2009 King County Surface Water Manual and City Amendments. Based on the City's flow control map, the 5-lot short plat, zoned R-8 falls within the Flow Control Standard, Forested Condition. The 0.69-acre site has one existing home to be demolished. The site is subject to Full Drainage. Additionally, the proposal would create a stormwater facility extension south of the site within 114th Ave SE (Exhibit 6).</p> <p>The engineer is proposing to mitigate a portion of the new runoff created by the project by installing permeable pavement in lieu of the city's standard 5-foot wide concrete sidewalk in the right-of-way. The City would not support the permeable pavement in the right-of-way. Therefore, as a condition of approval, staff recommends that any permeable pavement proposed be updated to reflect an accepted pavement material by the City.</p> <p>Stormwater on the developed site would discharge to the same threshold discharge area as with pre-developed conditions with the existing on-site home. The discharge area would include the on-site and off-site street frontage improvements under developed conditions. The project would provide flow control for impervious surfaces using a detention pipe in addition to other flow control best management practices. The detention pipe would be remodeled and updated during the construction permit submittal to reflect the latest building footprint revisions. The project would not be required to implement water quality treatment facilities as there is not more than 5,000 sf of pollution generating surface added for right-of-way or private improvements. Erosion and sediment control recommendations are also provided.</p>

	<p>Geotechnical recommendations report prepared by PanGEO Inc (Exhibit 8), dated June 24, 2014, describes existing site and subsoil conditions and recommendations for site development following review of readily available geologic data, site reconnaissance, and test pit excavations. It is anticipated that site grading for home foundations would include cuts and fill on the order of 4 ft. For utility construction, it is anticipated that cuts and fill may be as deep as 7 to 8 ft.</p> <p>Five test pit excavations were dug in the area to explore the general subsurface conditions of the site. Excavations were performed to a depth of about 7 to 8 ft. In summary, the test pits generally encountered three distinctive soil units: 1) topsoil/fill, 2) till-like deposits, and 3) sandstone. Moderate to heavy groundwater seepage was encountered in all test pits at depths of about 1 to 5 feet below the surface. The groundwater seepage is perched above the dense till and are likely to vary depending on the season, local subsurface conditions, and other factors. It is recognized that groundwater levels are normally highest during the winter and early spring. Recommendations for site preparation, foundation design, and excavations and dewatering for building and utility construction are provided.</p> <p>The geotechnical report provides a recommendation that a qualified geotechnical engineering service be retained to conduct a review of the final project plans and specifications, and to monitor the construction of geotechnical elements. Therefore, staff recommends, as a condition of approval, that a qualified geotechnical engineering service provide services for review of final project plans and monitoring of geotechnical construction elements.</p> <p>Stormwater drainage plans for individual lots will be required prior to issuance of construction permits. The Surface Water System Development fee for 2014 is \$1,228.00 per new lot. Fees may increase year to year. Fees are payable prior to issuance of the construction permit.</p>
✓	<p>Water Service: The project is located in the Soos Creek Water and Sewer district. A water availability certificate will be required to be submitted to the City as part of construction permit application.</p> <p>Additionally, all new construction must have a fire hydrant capable of delivering a minimum of 1,000 gpm and must be located within 300 feet of the structures. A minimum of one new hydrant will be required to be installed.</p>
✓	<p>Sanitary Sewer Service: The project is located in the Soos Creek Water and Sewer district. A sewer availability certificate will be required to be submitted to the City as part of construction permit application. Therefore, staff recommends the certificate be required as part of the construction permit application.</p>
✓	<p>Transportation: Impacts to the city transportation system are expected, due to increased vehicle trips to and from the proposed project. The 2014 Traffic Impact fee is \$1,430.72 per single family home and the 2015 fee is \$2,143.70. Credit would be provided for existing homes. Right-of-way dedication is required at the southeast corner</p>

of the intersection of 114th Ave SE or SE 162nd St, of an approximate 48 sf area. Street frontage improvements are required along both streets that include curb, gutter, 8-foot planter strip, and 5-foot sidewalks. The Transportation Impact fee would be calculated and assessed at the rate in effect when building permits are issued.

9. **System Development Charges:** As of the date of this report the Surface Water System Development Fee is \$1,228.00 per new lot; Water Service Fee is \$2,809.00 per new lot; and Sanitary Sewer Service is \$2,033.00 per new lot. Fees change year to year.
10. **Public Utilities:** Sufficient public utilities would be available for the development of homes on the proposed lots if all conditions of approval are met, where the applicant is required to provide water and sewer availability certificates from Soos Creek Water and Sewer District.
11. **Street Frontage Improvements:** Right-of-way dedication of approximately 48 sf is required at the streets intersection for radius and improvements. Improvements for both streets, SE 162nd St and 114th Ave SE, are required to include 13 feet of paving from centerline, curb and gutter, and 8-foot planter strip with trees, a 5-foot sidewalk, and storm drainage improvements according to City code.
12. **Safe Routes to School:** Students would attend Renton School District. As referenced above, in subsection Findings #8 "Short Plat Review Criteria"; subsection #5 "Availability and Impact on Public Services-Schools", bussing would be provided to potential students for the Lindbergh High School (Exhibit 13).

J. CONCLUSIONS:

1. The subject site is designated **Residential Single Family (RSF)** in the Comprehensive Land Use Plan and complies with the goals, objectives, and policies established with this designation.
2. The subject site is zoned **Residential 8 (R-8)** and complies with the zoning and development standards established with this designation, provided the applicant complies with the Renton Municipal Code and conditions of approval.
3. The proposed 5-lot short plat complies with the subdivision regulations as established by City Code and state law provided all advisory notes and conditions are complied with.

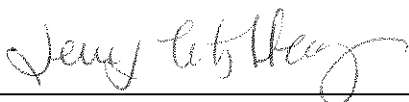
K. DECISION:

The Limelite Short Plat, File No. **LUA14-001083; SHPL-A**; is **APPROVED** and subject to the following conditions:

1. The applicant shall demolish and/or remove all existing structures proposed for removal prior to Final Short Plat recording. A demolition permit shall be obtained and final inspection performed for those structures demolished.
2. The applicant shall provide detailed landscape plans for both on-site and off-site landscaping to the Current Planning Project Manager at the time of construction permit review. The detailed landscape plans shall be reviewed and approved prior to construction permit issuance.
3. The applicant shall provide a report prepared by a qualified arborist that evaluates and determines whether or not trees identified to be retained can be retained throughout

construction and not impact the health of the tree. If it is identified that the trees for retention cannot be retained through construction, an updated tree retention plan and if necessary, tree replacement plan, shall be provided for review and approval by the Current Planning Project Manager prior to construction permit issuance.

4. The corner lot, Lot 3, be required to have 25 percent openings of windows and/or doors on the facades facing public streets. .
5. The approved access points for the residential lots shall be as shown on the preliminary short plat layout submitted by GeoDimensions (Exhibit 3, titled "Proposed Lot Layout, Sheet 3 of 4, dated 7/30/14). In addition, the shared driveway access easements as shown on the GeoDimensions layout (Exhibit 3, titled "Proposed Lot Layout, Sheet 3 of 4, dated 7/30/14) shall be recorded on the face of the short plat.
6. All curb cuts shall be no closer than 50 feet from the northwest corner of the property where the SE 162nd St and 114th Ave SE streets intersect. A note to this effect shall be placed on the face of the short plat and shown on the construction engineering plans.
7. If plans change as a result of revisions needed to meet condition of approval number 5 above, such changes shall be provided to the Current Planning Project Manager for review and approval prior to the issuance of the construction permit.
8. The applicant must provide sufficient information to show how the students that walk to school would have a safe walking route if bussing is not provided. If a safe route to school is not identified, then the applicant will be required to provide a safe walking path, which may entail some off-site improvements.
9. A qualified geotechnical engineering service shall be retained by the applicant to conduct a review of final project plans and specifications, and to monitor the construction of geotechnical elements.
10. Water and Sewer availability certificates from Soos Creek Water and Sewer District shall be provided as part of construction permit application.

DECISION ON LAND USE ACTION:**SIGNATURE:**

Jennifer T. Henning, Planning Director
Department of Community & Economic Development

10/15/2014

Date

TRANSMITTED this 15th day of October, 2014 to the Contact/Applicant/Owner(s):

Contact:

Andy McAndrews; GeoDimensions
10801 Main St Suite 200
Bellevue WA 98004

Applicant:

Todd Karam; Limelite Development
14508 NE 20th St, #200
Bellevue WA 98007

Owner:

Virtuoso Ventura 6 LLC
14508 NE 20th St, #200
Bellevue WA 98007

TRANSMITTED this 15th day of October, 2014 to the Party(ies) of Record:

Melissa Richards
1401 N 40th St
Renton, WA 98056

Dana Cook

11304 SE 162nd St
Renton, WA 98055

TRANSMITTED this 15th day of October, 2014 to the following:

Chip Vincent, CED Administrator
Steve Lee, Development Engineering Manager
Craig Burnell, Building Official
Vanessa Dolbee, Current Planning Manager
Fire Marshal

L. LAND USE ACTION APPEALS, REQUEST FOR RECONSIDERATION, & EXPIRATION:

The administrative land use decision will become final if the decision is not appealed within 14 days of the decision date.

APPEAL: This administrative land use decision will become final if not appealed in writing to the Hearing Examiner on or before 5:00 PM on October 29, 2014. An appeal of the decision(s) must be filed within the 14-day appeal period (RCW 43.21.C.075(3); WAC 197-11-680). Renton Municipal Code Section 4-8-110.B governs appeals to the Hearing Examiner. Appeals must be filed in writing together with the required fee to the Hearing Examiner, City of Renton, 1055 South Grady Way, Renton, WA 98057. Additional information regarding the appeal process may be obtained from the City Clerk's Office, Renton City Hall - 7th Floor, (425) 430-6510.

EXPIRATION: The administrative short plat decision will expire two (2) years from the date of decision. A single one (1) year extension may be requested pursuant to RMC 4-7-070.M.

RECONSIDERATION: Within 14 days of the decision date, any party may request that the decision be reopened by the approval body. The approval body may modify his decision if material evidence not readily discoverable prior to the original decision is found or if he finds there was misrepresentation of fact. After review of the reconsideration request, if the approval body finds sufficient evidence to amend the original decision, there will be no further extension of the appeal period. Any person wishing to take further action must file a formal appeal within the 14-day appeal time frame.

THE APPEARANCE OF FAIRNESS DOCTRINE: provides that no ex parte (private one-on-one) communications may occur concerning the land use decision. The Doctrine applies not only to the initial decision, but to Appeals to the Hearing Examiner as well. All communications after the decision/approval date must be made in writing through the Hearing Examiner. All communications are public record and this permits all interested parties to know the contents of the communication and would allow them to openly rebut the evidence in writing. Any violation of this doctrine could result in the invalidation of the appeal by the Court.



0 420 840 Feet

1:9,490

(CV) Center Village	(R-8) Residential 8du/ac
(R-8) Residential 8du/ac	(RC) Resource Conservation
(RC) Resource Conservation	(RM-F) Residential Multi-Family
(RM-F) Residential Multi-Family	(RM-T) Resi. Multi-Family Traditional
(RM-T) Resi. Multi-Family Traditional	(RM-U) Resi. Multi-Family Urban Center
(RM-U) Resi. Multi-Family Urban Center	(RMH) Residential Manufactured Homes
(RMH) Residential Manufactured Homes	(UC-N1) Urban Center North 1
(UC-N1) Urban Center North 1	(UC-N2) Urban Center North 2
(UC-N2) Urban Center North 2	

EXHIBIT 2

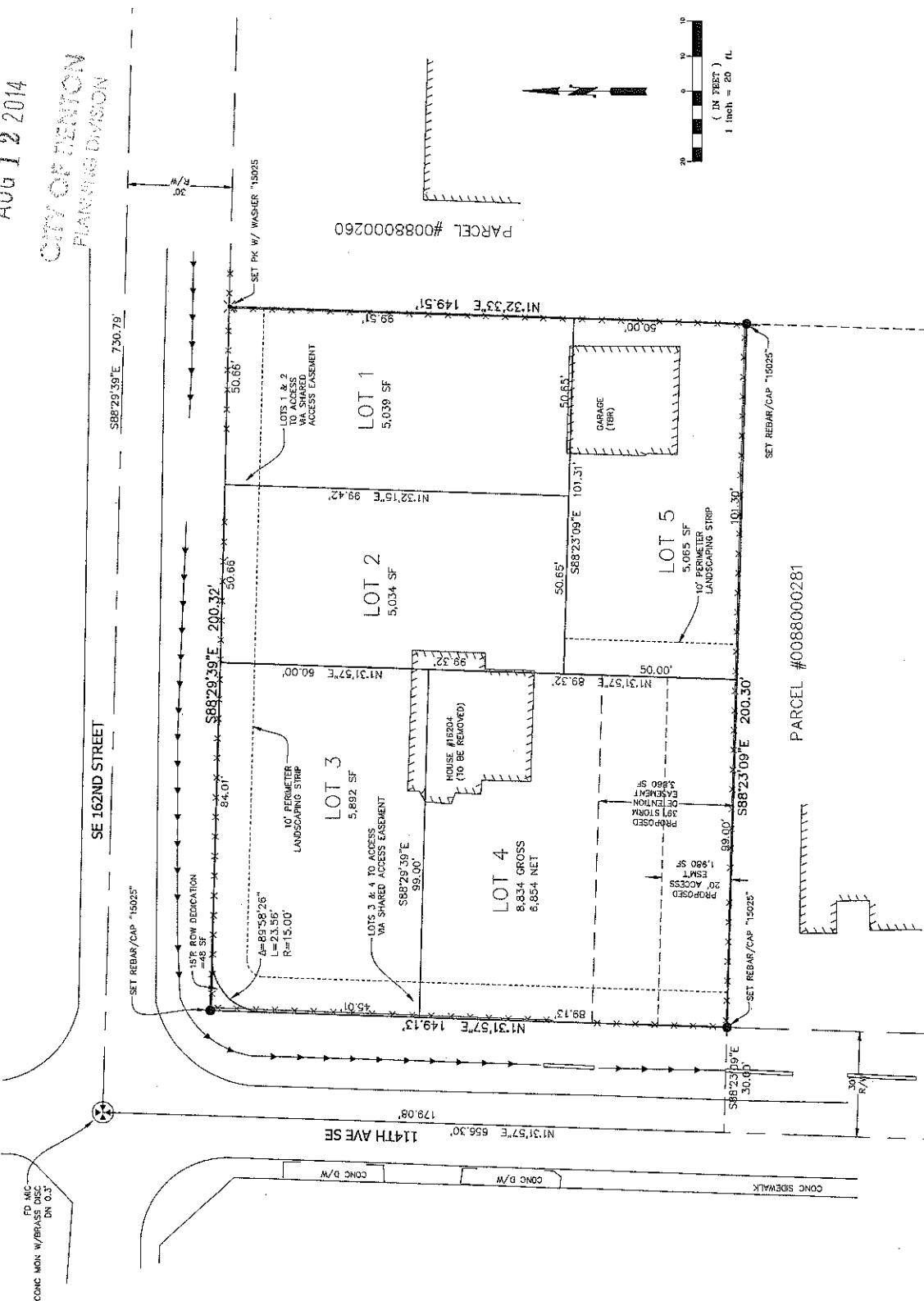
EXHIBIT 3

RECEIVED

AUG 12 2014

CITY OF RENTON
PLANNING DIVISION

PROPOSED LOT LAYOUT



Geodimensions, Inc. 10001 Main Street, Suite 102, Bellevue, WA 98004
Phone: 425.455.4488 support@geodimensions.com
www.geodimensions.com



WA

PRELIMINARY SHORT PLAT
NE 1/4, NE 1/4, SEC 29, T 23N, R 5E, W.M.
LIMELITE DEVELOPMENT
TAX #0088000280

RENTON

JOB NO.: 14003
DATE: 7/30/14
DRAFTED BY: TLR
CHECKED BY: EUG
SCALE: 1" = 20'
3 OF 4

DENSITY WORKSHEET

City of Renton Development Services Division
1055 South Grady Way-Renton, WA 98055
Phone: 425-430-7200 Fax: 425-430-7231

1. Gross area of property: 1. 29,912 square feet

2. Deductions: Certain areas are excluded from density calculations.
These include:

Public streets**

0 48 square feet

Private access easements**

1,980 square feet

Critical Areas*

0 square feet

Total excluded area:

2. 1,980 square feet

3. Subtract **line 2** from **line 1** for net area: 3. 27,932 square feet

4. Divide **line 3** by 43,560 for net acreage: 4. 0.64 acres

5. Number of dwelling units or lots planned: 5. 5 units/lots

6. Divide **line 5** by **line 4** for net density: 6. 7.80 = dwelling units/acre

*Critical Areas are defined as "Areas determined by the City to be not suitable for development and which are subject to the City's Critical Areas Regulations including very high landslide areas, protected slopes, wetlands or floodways." Critical areas buffers are not deducted/excluded.

** Alleys (public or private) do not have to be excluded.

RECEIVED

AUG 12 2014

CITY OF RENTON

Last updated: 11/08/2004 DIVISION

TREE RETENTION WORKSHEET

1. **Total** number of trees over 6" in diameter¹ on project site: 1. 12 trees
2. **Deductions:** Certain trees are excluded from the retention calculation:

Trees that are dead, diseased or dangerous ²	<u>0</u>	trees
Trees in proposed public streets	<u>0</u>	trees
Trees in proposed private access easements/tracts	<u>0</u>	trees
Trees in critical areas ³ and buffers	<u>0</u>	trees

Total number of **excluded trees**: 2. 0 trees
3. Subtract **line 2** from **line 1**: 3. 12 trees
4. Next, to determine the number of trees that must be **retained**⁴, multiply **line 3** by:

0.3 in zones RC, R-1, R-4, or R-8	<u>3.6</u>	trees
0.1 in all other residential zones		
0.05 in all commercial and industrial zones		

4. 3.6 trees
5. List the number of 6" or larger trees that you are proposing⁵ to **retain**⁴: 5. 9 trees
6. Subtract **line 5** from **line 4** for **trees to be replaced**: 6. 0 trees
(If line 6 is less than zero, stop here. No replacement trees are required).
7. Multiply **line 6** by **12"** for number of **required replacement inches**: 7. _____ inches
8. Proposed size of trees to meet **additional planting** requirement: 8. _____ inches
(Minimum 2" caliper trees required) per tree
9. Divide **line 7** by **line 8** for number of **replacement trees**⁶: 9. _____ trees
(If remainder is .5 or greater, round up to the next whole number)

¹ Measured at chest height.

² Dead, diseased or dangerous trees must be certified as such by a forester, registered landscape architect, or certified arborist, and approved by the City.

³ Critical Areas, such as wetlands, streams, floodplains and protected slopes, are defined in Section 4-3-050 of the Renton Municipal Code (RMC).

⁴ Count only those trees to be retained outside of critical areas and buffers.

⁵ The City may require modification of the tree retention plan to ensure retention of the maximum number of trees per RMC 4-4-130H7a

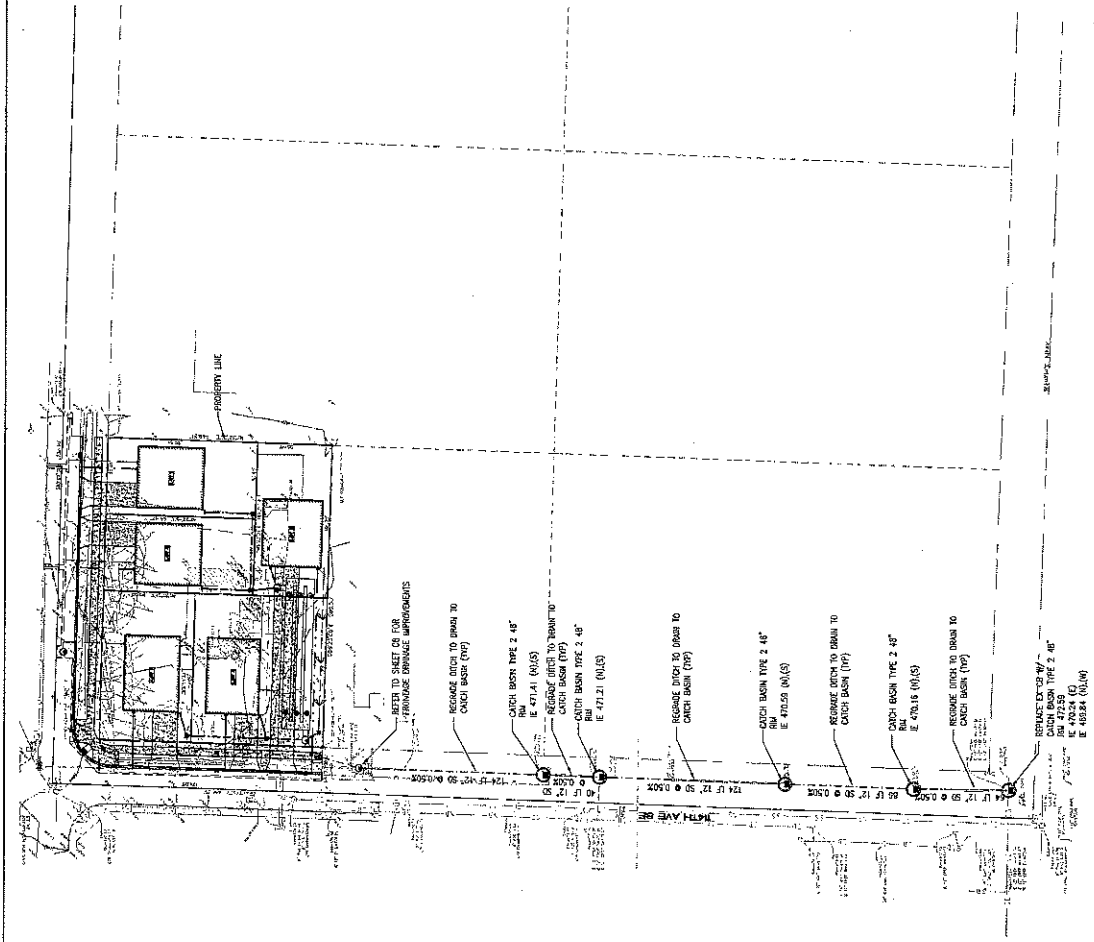
⁶ Inches of street trees, inches of trees added to critical areas/buffers, and inches of trees retained on site that are less than 6" but are greater than 2" can be used to meet the tree replacement requirement.

RECEIVED

AUG 12 2014

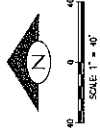
CITY OF RENTON
PLANNING DIVISION

RECEIVED
AUG 12 2014



CITY OF RENTON
PLANNING DIVISION

APPROVED BY:	DATE:
APPROVED BY:	DATE:
APPROVED BY:	DATE:



LEGEND

- 1. 10 TYPE-2 48" STORM DRAIN

NOTES

1. SEE SHEET C-1 FOR GENERAL NOTES AND PLACEMENT SCHEDULES.
2. TYPICAL TRENCH SHALL BE PER CDR STD. PLAN 2200A DETAIL 9/C12.
3. ALL LOCATIONS OF EXISTING UTILITIES AND FEATURES SHOWN ON THESE PLANS HAVE BEEN FIELD VERIFIED BY THE DESIGNER. ANY CHANGES TO THESE PLANS SHALL BE MADE BY THE DESIGNER. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.
4. CROSSING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION AND ASSUMED CONFIGURATION. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.
5. COORDINATE ALL WORK WITH CITY OF RENTON TO ENSURE FACILITY ACCESS IS MAINTAINED AS REQUIRED.
6. COORDINATE ALL SERVICE INTERFERENCES WITH CITY OF RENTON.
7. SEE SHEETS C10 TO C13 FOR CDR WATER DETAILS.
8. PROTECT UTILITIES TO REMAIN.
9. PROVIDE WARNING MARKERS PER CDR STD. PLAN 310.1.

PRELIMINARY NOT FOR CONSTRUCTION



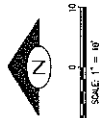
springline design LLC
Civil Engineering [Site Development] Transportation
2115 Woodland Avenue, Suite 501
Burien, WA 98147
P: 206.837.8111
F: 206.837.8113

CITY OF RENTON Planning/Building/Public Works Dept.		PRELIMINARY PLAT SUBMITTAL		DATE: 07/03/14
LIMELITE SHORT PLAT 11419 SE 162ND ST STORM DRAIN EXTENSION		CITY OF RENTON		PROJECT NO: C8
REVISION		DATE		APPROVED BY
NO.		DATE		APPROVED BY

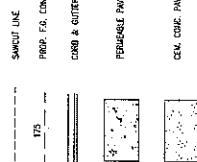
AUG 12 2014

0502200

CITY OF RENTON
PLANNING DEPARTMENT



CANEGOT

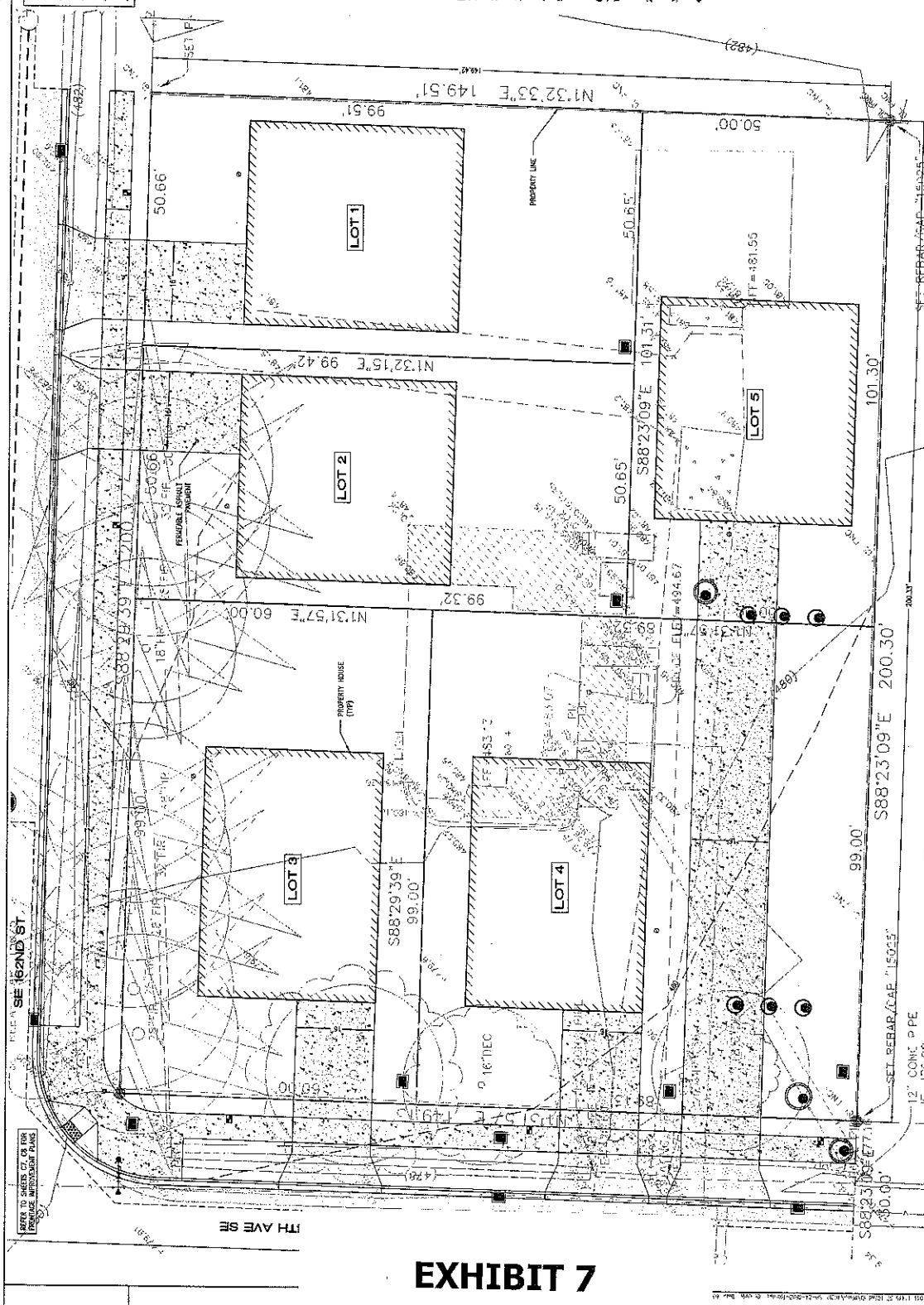


SALON

1. PROPERTY AND AREA OF WORK ARE 29.912 SF.
2. FIELD VERIFY ELEVATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
3. RELOCATE EXISTING FEATURES AS REQUIRED FOR CONSTRUCTION OF NEW IMPROVEMENTS.
4. SEE SHEET C1 FOR GENERAL NOTES.
5. SEE OFF-SITE FRONTAGE IMPROVEMENT PLANS FOR STREET WORK IN RIGHT-OF-WAY.

GRADING NOTES

4. ALL EXTERIOR AND SUBGRADE PREPARATION SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.
5. FINISH GRADE INDICATED IS FINAL SURFACE ELEVATION FOLLOWING PLACEMENT OF ALL SURFINAGE MATERIALS
6. GRADY ALL AREAS TO PROVIDE BASIC DRAINAGE AWAY FROM THE BUILDING. FINE GRADE AREAS TO DIRECT DRAINAGE TO DRAINAGE STRUCTURES.
7. UNPAVED SOIL MATERIAL SHALL BE OBTAINED FROM A REGISTRATION DEPARTMENT OF TRANSPORTATION APPROVED SOURCE. SUBMIT CERTIFICATE 14 DAYS PRIOR TO CONSTRUCTION.



PRELIMINARY NOT FOR CONSTRUCTION



springline design LLC
Civil Engineering | Structural Design | Transportation
3131 Western Avenue, Suite 301 PH 208.967.8219
Seattle, WA 98121 FAX 208.967.8373



1° = 10°



Planning/Building/Public Works Dept.

PRELIMINARY PLAT SUBMITTAL

LIMELITE SHORT PLAT
11419 SE 162ND ST
PAVING AND GRADING

DATE	07/03/14
TIME	
NAME	
ADDRESS	
CITY	
STATE	
ZIP	
PHONE	
EMAIL	
REMARKS	

EXHIBIT 7

Entire Document
Available Upon Request



June 24, 2014
Project No. 14-052

Mr. Todd Karam
Limelite Development
14508 NE 20th Street, Suite 200
Bellevue, WA 98007

Subject: Geotechnical Engineering Report
Proposed Short Plat and Development
16204 – 114th Avenue SE, Renton, Washington

Dear Mr. Karam,

As requested, PanGEO, Inc. completed a geotechnical engineering study to assist you and your project team with the proposed short plat and development at the above-referenced property. This study was performed in accordance with our mutually agreed scope of work as outlined in our proposal dated March 4, 2014, and was subsequently approved by you on the same day. Our service scope included reviewing readily available geologic data, conducting a site reconnaissance, excavating five test pits, and developing the conclusions and recommendations presented in this report.

SITE AND PROJECT DESCRIPTION

The subject property is an approximately 29,900 square foot lot located at 16204 – 114th Avenue SE in the City of Renton, Washington (see Figure 1, Vicinity Map). The subject lot is roughly rectangular in shape, and is bordered to the north by SE 162nd Street, to the west by 114th Avenue SE, and to the east and south by existing single-family residences (see Figure 2, Site and Exploration Plan). An existing single-family residence occupies the central portion of the site (see Plates 1 and 2 on Page 2 and Figure 2). A detached garage is located in the southeastern corner of the lot. The site is covered with short grass with several mature trees at the time of our field exploration. The existing site grade is generally level.

Entire Document
Available Upon Request

TECHNICAL INFORMATION REPORT

RECEIVED

AUG 12 2014

CITY OF RENTON
PLANNING DIVISION

Project: Limelite Short Plat
11419 SE 162nd Street
Renton, WA 98055

Prepared For: Limelite Development
14508 NE 20th St. #200
Seattle, WA 98007

Prepared By: Chris Puma
Reviewed By: Peter Apostol, PE
Date: July 7, 2014



RECEIVED

TOPOGRAPHIC SURVEY

AUG 12 2014

CITY OF RENTON
PLANNING DIVISION

Geodimensions
10001 Main Street, Suite 102, Bellevue, WA 98004
phone 425-456-4282 support@geodimensions.net
www.geodimensions.net



WA

PRELIMINARY SHORT PLAT
LIMELITE DEVELOPMENT
NE 1/4, NE 1/4, SEC 29, T 23N, R 5E, W.M.
TAX #0088000280
72PO + TREES

RENTON

JOB NO.: 14003
DATE: 7/30/14
DRAFTED BY: TLR
CHECKED BY: EUG
SCALE: 1" = 20'
2 OF 4

SURVEY LEGEND

- EDGE OF ASPHALTIC CONCRETE
- BUILDING LINE
- CONCRETE CURB
- CLEANGUT
- CONCRETE SURFACE
- CONCRETE RETAINING WALL
- DECIDUOUS TREE
- FOUND MONUMENT IN CASE
- FENCE LINE (CHAIN LINK)
- FIRE HYDRANT
- GAS METER
- GUY POLE
- GAS VALVE
- NAIL AS NOTED
- MAINTENANCE HOLE
- POWER METER
- POWER POLE
- POWER POLE W/ LIGHT
- REBAR SET
- STORMDRAIN INLET
- TELEPHONE PEDestal
- WATER METER
- WATER VALVE

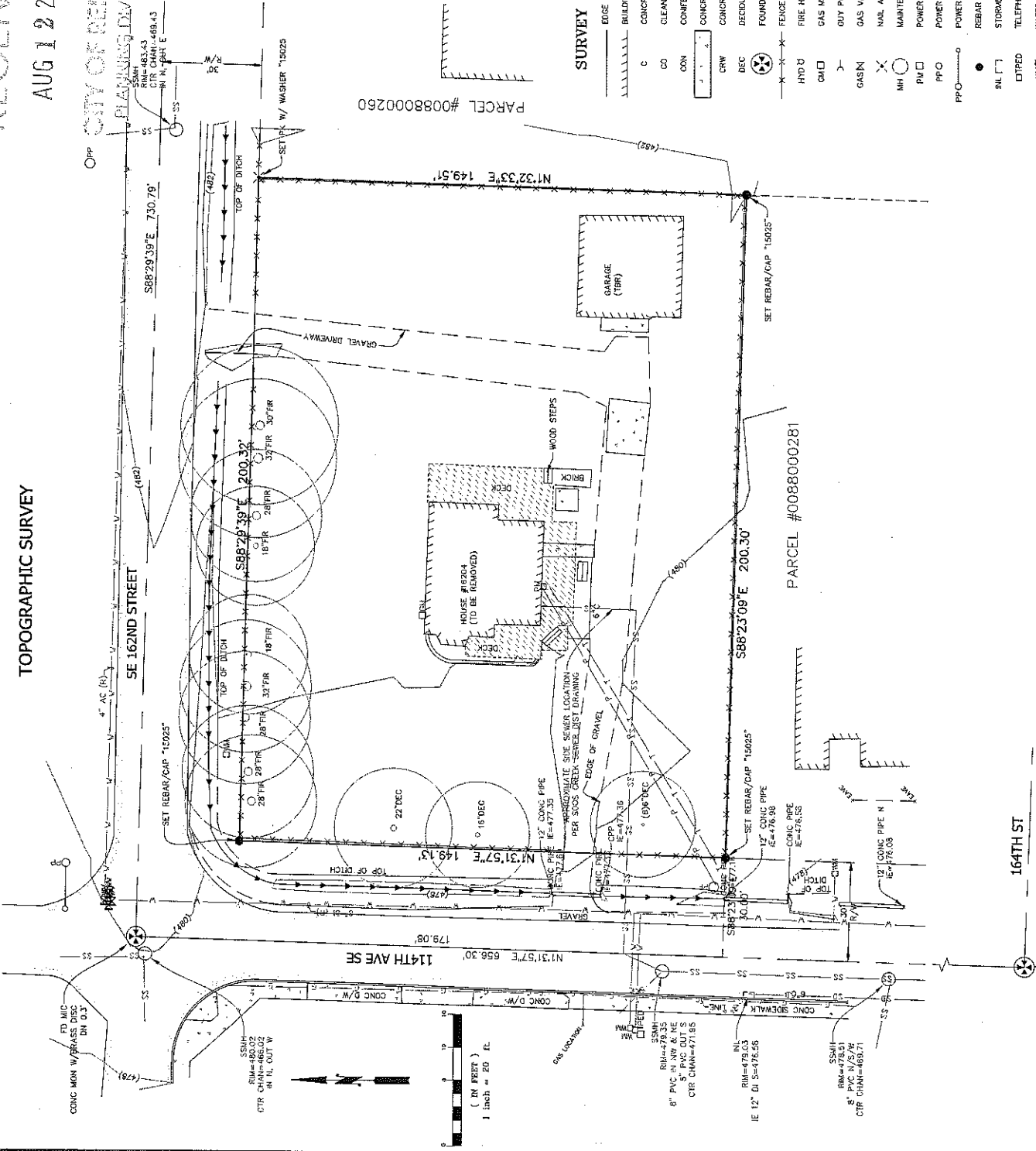
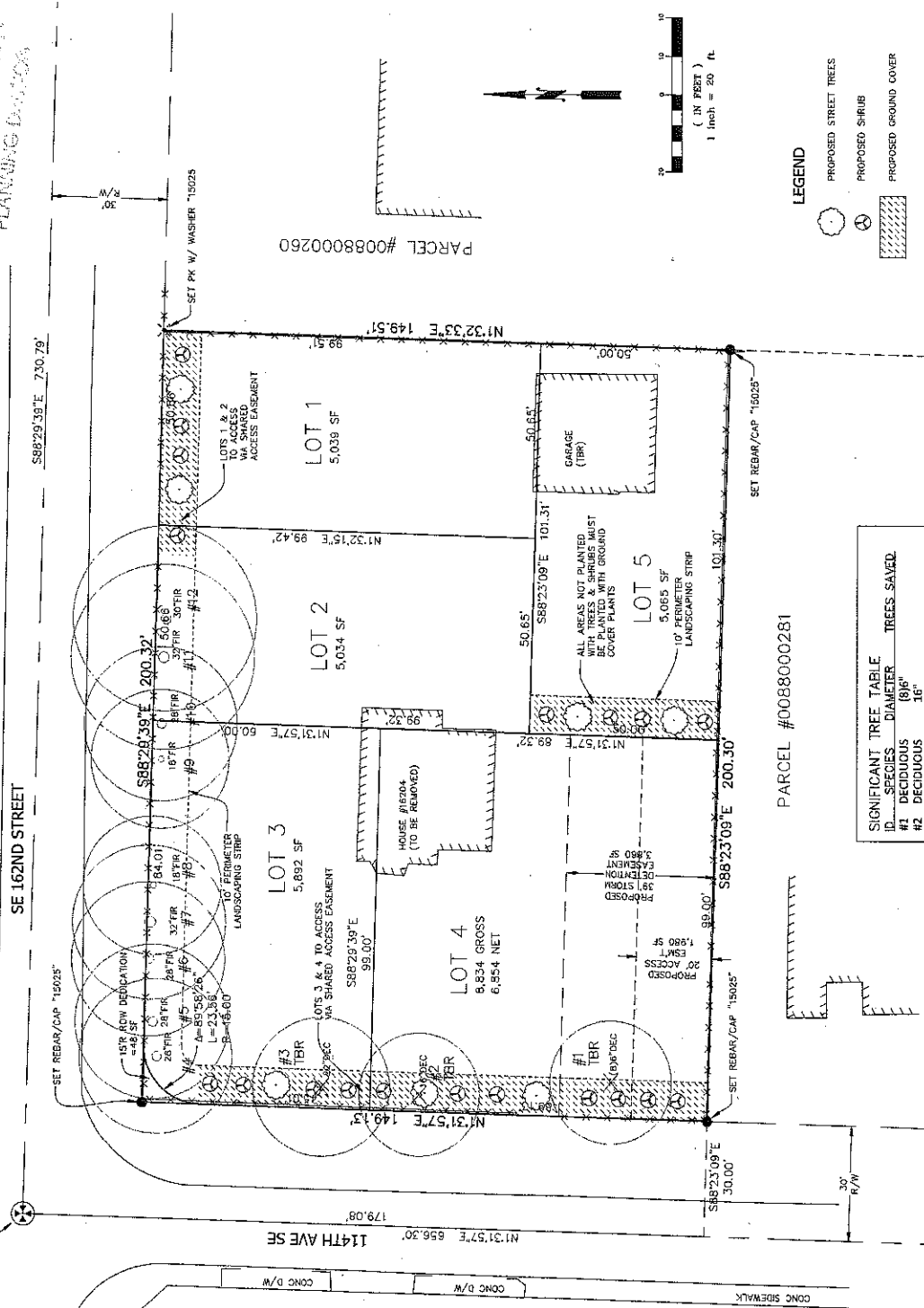


EXHIBIT 10

CONCEPTUAL LANDSCAPE PLAN

FD MIC—
CONC MON W/BRASS DISC
DN 0.3'



SIGNIFICANT TREE TABLE		TREES SAVED
ID.....SPECIES	DIAMETER	
#1 DECIDUOUS	86"	
#2 DECIDUOUS	16"	
#3 WALNUT	22"	
#4 DOUGLAS FIR	28"	28"
#5 DOUGLAS FIR	28"	28"
#6 DOUGLAS FIR	28"	28"
#7 DOUGLAS FIR	32"	32"
#8 DOUGLAS FIR	18"	18"
#9 DOUGLAS FIR	18"	18"
#10 DOUGLAS FIR	28"	28"
#11 DOUGLAS FIR	32"	32"
#12 DOUGLAS FIR	30"	30"
TOTAL=328"		242" (74%)

NOTES:

1. ALL PROPOSED LANDSCAPING AREAS SHALL MEET THE REQUIREMENTS OF RMC 4-4-070.
2. EXISTING TREES TO BE RETAINED (AS NOTED) APPLY AS LANDSCAPING REQUIRED FOR FRONTAGE ALONG SE 162ND STREET.
3. ALL TREES, SHRUBS & GROUNDCOVER PLANTINGS SHALL BE DROUGHT-TOLERANT AND SHALL CONFORM WITH THE CITY'S APPROVED PLANTING LIST.

LEGEND

- PROPOSED STREET TREES
- PROPOSED SHRUB
- PROPOSED GROUND COVER

PRELIMINARY SHORT PLAT
NE 1/4, NE 1/4, SEC 29, T 23N, R 5E, W.M.
LIMELITE DEVELOPMENT
TAX #0088000280

RENTON

JOB NO.: 14003

DATE: 7/30/14

DRAFTED BY: TLR

CHECKED BY: EJC

SCALE: 1" = 200'

4 OF 4

WA



GeoDimensions
GeoDimensions, Inc., 10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.456.4468 support@geodimensions.net
www.geodimensions.net

Kris Sorensen

From: Randy Matheson <randy.matheson@rentonschools.us>
Sent: Thursday, October 09, 2014 9:43 AM
To: Kris Sorensen
Cc: Kayla Steckler; Sabrina Mirante
Subject: RE: City of Renton Notice of Short Plats - Limelite Short Plat, LUA14-001083 & Cascade Greens Short Plat, LUA001284

Solid. The neighborhood schools for this plat are: Cascade Elementary; Nelsen Middle School and Lindbergh High School.

Randy Matheson, Executive Director, Community Relations Renton School District | 300 SW 7th Street, Renton WA 98057 | 425.204.2345 |

randy.matheson@rentonschools.us | www.rentonschools.us |



From: Kris Sorensen [mailto:KSorensen@Rentonwa.gov]
Sent: Thursday, October 9, 2014 9:38 AM
To: Randy Matheson
Cc: Kayla Steckler; Sabrina Mirante
Subject: RE: City of Renton Notice of Short Plats - Limelite Short Plat, LUA14-001083 & Cascade Greens Short Plat, LUA001284

An email reply for this one is great.

We will work on an email template that should be pretty easy to fill out for projects going forward. I believe Sabrina is putting something together for future requests like this that would be fairly simple.

Thanks for the reply.

Kris Sorensen, Associate Planner, Planning Division, Community & Economic Development, City of Renton, 425-430-6593

From: Randy Matheson [mailto:randy.matheson@rentonschools.us]
Sent: Thursday, October 09, 2014 9:36 AM
To: Kris Sorensen
Cc: Kayla Steckler
Subject: RE: City of Renton Notice of Short Plats - Limelite Short Plat, LUA14-001083 & Cascade Greens Short Plat, LUA001284

Do you need us to download and fill out the form or can we simply provide you the information in returned email?

Randy Matheson, Executive Director, Community Relations Renton School District | 300 SW 7th Street, Renton WA 98057 | 425.204.2345 |



randy.matheson@rentonschools.us | www.renton

EXHIBIT 12

Lincolnton

User Information:

Address: 11419 SE 162ND ST

[Back](#)

Grade:

Program:

Select a School:

School Name	School Code	School Web Site	Eligibility Description	Grades
CASCADE ELEMENTARY	CAS		Within walk distance of school	01, 02, 03, 04, 05, K2, K2A, K2P
NELSEN MIDDLE SCHOOL	NEL		Within walk distance of school	06, 07, 08
<u>2016 PROPOSED NELSEN MIDDLE SCHOOL</u>	2016NEL		Eligible	06, 07, 08
<u>LINDBERGH HIGH SCHOOL</u>	LHS		Eligible	09, 10, 11, 12, GD
<u>SECONDARY LEARNING CENTER</u>	SLC		Eligible	07, 08, 09, 10, 11, 12, GD
<u>MEADOW CREST EARLY EDUCATION</u>	MCE		Eligible	P4

EXHIBIT 13

Added as per 8/25/2014
Kris
Yellowfly

My Comments concerning limelight short plat:

It would be nice to see less houses to allow for larger yards and more green landscaping which would fit in better with the neighborhood. Cramped housing means more traffic, noise and irritation to everybody. A larger play yard area would keep kids from playing in the streets too.

This neighborhood is home to diverse wildlife. Mammals: (bats, deer, rabbits, raccoons, opossum, squirrels), birds: (chickadees, crows, doves, hawks, hummingbirds, owls, robins, wrens), amphibians: (many tree frogs and woodland newts) and beneficial insects like honeybees to name some observed. Would like to see any development nature- friendly and also protective of our wetlands and aquifers. Any pollution up here eventually runs downhill and effects the Duwamish watershed that eventually drains into our treasured Puget Sound. We need green community corridors that support nature and keep this area healthy and interesting for residents.

Retaining /planting more trees/shrubs helps prevent runoff and helps keep noise and air pollution down. We do get plane noise here from Renton and Seatac airports so more green space helps.

A storm retention pond surrounded by fencing is very unsightly (Like the one located a block away, south (concrete pit and cyclone fence= ugly). Perhaps a rain garden or something more asthetic would be a better solution or just leave the drainage ditch.

Hopefully any sidewalk put in won't narrow the road anymore like it did on 114th. When someone parks next to the sidewalk it impedes traffic.

Overall please consider keeping the character of the area green, natural and a wonderful place for people and urban wildlife to live.

Thank You
Dana Cook and like-minded neighbors

EXHIBIT 14

RECEIVED

AUG 26 2014

CITY OF RENTON
PLANNING DIVISION

PLAN REVIEW COMMENTS (LUA14-001083)



PLAN ADDRESS: 16204 114TH SE AVE
RENTON, WA 98055-5249

APPLICATION DATE: 08/12/2014

DESCRIPTION: The applicant is requesting administrative Short Plat review of an R-8 zone, 29,912 sf corner lot, to be subdivided into 5 single family residential lots. A storm water detention area would be located in the southwest corner of the site. Density would be 7.8 du/ac. The existing home would be demolished. Vehicle access to proposed lots would be from SE 162nd St and 114th Ave SE for Lots 1-4, and for Lot 5, there would be an easement across Lot 4 that provides connection to 114th Ave SE. Lot sizes range from 8,834 sf to 5,034 sf. Studies submitted include tree inventory, geotechnical report, technical information report with drainage information, and landscape analysis. Street improvements including planter strip and sidewalk would be installed along the subject site.

Engineering Review

Jan Illian Ph: 425-430-7216 email: jillian@rentonwa.gov

Recommendations: EXISTING CONDITIONS

WATER Water Service will be provided by Soos Creek Water and Sewer District. A water availability certificate will be required to be submitted to the City.

SEWER Sewer Service will be provided by Soos Creek Water and Sewer District. A sewer availability certificate will be required to be submitted to the City.

STORM There are no drainage improvements in SE 162nd Street or in 114th Ave SE. There appears there is a ditch in 114th Ave SE.

STREETS There are no street improvements fronting the site in 114th Ave SE or SE 164th Street

CODE REQUIREMENTS

SURFACE WATER

1. A drainage report dated July 7, 2014, was prepared and submitted by Springline Design LLC. The report complies with the 2009 King County Surface Water Manual and the 2009 City of Renton Amendments to the KCSWM, Chapters 1 and 2. Based on the City's flow control map, the 5-lot short plat, zoned R-8 falls within the Flow Control Standard, Forested Condition. The 0.687 site has one existing home that will be demolished. The site is subject to Full Drainage. The engineer is proposing to mitigate a portion of the new runoff created by the project by installing permeable pavement in lieu of the city's standard 5-foot wide concrete sidewalk in the right of way. The city will not support the permeable pavement in the right of way.
2. A geotechnical report, dated March 19, 2014 was provided by PanGEO, Geotechnical Engineers. Five test pits were excavated on March 19, 2014. Results show soils found one to five feet in depth were fine silty sands and sands. Test pits excavated seven to eight feet deep. Results show were found to be glacial till and sandstone. Moderate to heavy groundwater seepage was found one to five deep in all the pits.
3. Surface water system development fee is \$1,228.00 for the new lot. Credit will be given to the existing home.

TRANSPORTATION/STREET

1. Existing right of way width in SE 162nd Street is 60 feet. Existing right way of width in 114th Ave SE is 60 feet. Both streets are classified as residential access roads. To meet the City's new complete street standards, street improvements including 13 feet of paving from centerline, curb and gutter, an 8-foot planter strip, a 5-foot sidewalk, and storm drainage improvements are required to be constructed in the right of way fronting the site per City code 4-6-060.
2. Per City of Renton code, corner lots will be required to dedicate a minimum radius of fifteen feet (15').
3. Current traffic impact fee is \$1,430.72 per new single-family lot. Payment of the transportation impact fee is due at the time of issuance of the building permit. Credit will be given to the existing home.
4. Street lighting is required for a five lot short plat.
5. The maximum width of single loaded garage driveway shall not exceed nine feet (9') and double-loaded garage driveway shall not exceed sixteen feet (16').
6. Driveway shall not exceed 15% slope. Driveways over 8 % slopes require strip drains.

GENERAL COMMENTS

1. Separate permits and fees for storm connections will be required.
2. All construction utility permits for drainage and street improvements will require separate plan submittals. All utility plans shall conform to the Renton Drafting Standards. A licensed Civil Engineer shall prepare the civil plans.
3. Rockeries or retaining walls greater than 4 feet in height will be require a separate building permit. Structural calculations and plans shall be submitted for review by a licensed engineer. Special Inspection is required.
4. A tree removal and tree retention/protection plan and a landscape plan shall be included with the civil plan submittal.

Technical Services

Bob MacOnie Ph: 425-430-7369 email: bmaconie@rentonwa.gov

Recommendations: Preliminary Short Plat: Bob Mac Onie 09/22/2014

Note the City of Renton land use action number and land record number, LUA14-001083 and LND-20-0609, respectively, on the final short plat submittal. The type size used for the land record number should be smaller than that used for the land use action number.

The dedication of right of way for short subdivisions requires a separate Deed of Dedication; provide a space to the recording number of same on the short plat. The Deed of Dedication document includes both a legal description exhibit and a map exhibit of the dedicated parcel. The legal description exhibit should be prepared, stamped, dated and signed by the applicant's surveyor. The surveyor should also prepare the map exhibit. The dedication process requires an updated Plat Certificate dated within 45 days of approval of said dedication. Talk to the Project Manager if there are questions or further information is needed.

Show two ties to the City of Renton Survey Control Network. The geometry will be checked by the city when the ties have been provided.

Provide sufficient information to determine how the plat boundary was established.

Provide short plat and lot closure calculations.

Note what was found when visiting the existing monuments.

Indicate what has been, or is to be, set at the corners of the proposed lots.

Note discrepancies between bearings and distances of record and those measured or calculated, if any.

The city will provide addresses for the proposed lots as soon as possible. Note said addresses on the final short plat drawing.

Do note encroachments, if any.

Do include a "LEGEND" block for the short plat drawing, detailing any symbols used thereon.

Note all easements, covenants and agreements of record on the drawing.

Note any relevant researched resources on the short plat submittal.

Note the plat name and lot and tract numbers of the adjoining properties or note as "Unplatted."

The City of Renton Administrator, PublicWorks Department, is the only city official who signs the final short plat. Provide an appropriate approval block and signature line. Pertinent King County approval blocks also need to be noted on the drawing.

All vested owner(s) of the subject final short plat need to sign the final short plat drawing. Include notary blocks as needed.

Include a declaration block on the drawing, titled "OWNERS' DECLARATION" not "CERTIFICATION" or other.

Note that if there are easements, restrictive covenants or agreements to others (City of Renton, etc.) as part of this subdivision, they can be recorded concurrently with the final short plat. The final short plat drawing and the associated document(s) are to be given to the Project Manager as a package. The recording number(s) for the associated document(s) are to be referenced on the final short plat drawing. Provide spaces for the recording numbers thereof.

The new easements for ingress, egress, utilities, etc. shown for the benefit of future owners of the proposed lots each need a note defining the rights associated with the easement at issue. Since these new "proposed" easements shown aren't "granted and conveyed" until the benefited and/or burdened lots are conveyed to others add the following language on the face of the short plat drawing:

DECLARATION OF COVENANT:

The owners of the land embraced within this short plat, in return for the benefit to accrue from this subdivision, by signing hereon covenant and agree to convey the beneficial interest in the new private easements shown on this short plat to any and all future purchasers of the lots, or of any subdivisions thereof. This covenant shall run with the land as shown on this short plat.

The preceding statement obligates the seller of the lots created to "expressly grant and convey" the lots "together with and/or subject to" any new private easements delineated on the short plat in the conveying document.

The proposed 20' Access Easement shown over the south 20' feet of Lot 4 does not agree with the grading and paving plan.

The private ingress, egress and utility (access) easement requires a "New Private Easement for Ingress, Egress and Utilities Maintenance Agreement" statement.

Reviewer Comments

Leslie Betlach Ph: 425-430-6619 email: LBetlach@rentonwa.gov

Community Services Review Created On: 10/08/2014

- a. Parks impact fee per ORD 5670 applies.
- b. There are no impacts to Parks.
- c. planting strip between curb and sidewalk with street trees and groundcover or shrubs.

Planning Review Created On: 10/08/2014

Planning:

1. RMC section 4-4-030.C.2 limits haul hours between 8:30 am to 3:30 pm, Monday through Friday unless otherwise approved by the Development Services Division.
2. Commercial, multi-family, new single family and other nonresidential construction activities shall be restricted to the hours between seven o'clock (7:00) a.m. and eight o'clock (8:00) p.m., Monday through Friday. Work on Saturdays shall be restricted to the hours between nine o'clock (9:00) a.m. and eight o'clock (8:00) p.m. No work shall be permitted on Sundays.
3. Within thirty (30) days of completion of grading work, the applicant shall hydroseed or plant an appropriate ground cover over any portion of the site that is graded or cleared of vegetation and where no further construction work will occur within ninety (90) days. Alternative measures such as mulch, sodding, or plastic covering as specified in the current King County Surface Water Management Design Manual as adopted by the City of Renton may be proposed between the dates of November 1st and March 31st of each year. The Development Services Division's approval of this work is required prior to final inspection and approval of the permit.
4. A National Permit Discharge Elimination System (NPDES) permit is required when more than one acre is being cleared.
5. The applicant may not fill, excavate, stack or store any equipment, dispose of any materials, supplies or fluids, operate any equipment, install impervious surfaces, or compact the earth in any way within the area defined by the drip line of any tree to be retained.
6. The applicant shall erect and maintain six foot (6') high chain link temporary construction fencing around the drip lines of all retained trees, or along the perimeter of a stand of retained trees. Placards shall be placed on fencing every fifty feet (50') indicating the words, "NO TRESPASSING – Protected Trees" or on each side of the fencing if less than fifty feet (50'). Site access to individually protected trees or groups of trees shall be fenced and signed. Individual trees shall be fenced on four (4) sides. In addition, the applicant shall provide supervision whenever equipment or trucks are moving near trees.

Fire Review - Building

Corey Thomas Ph: 425-430-7024 email: cthomas@rentonwa.gov

Recommendations: Environmental Impact Comments:

1. The fire impact fees are applicable at the rate of \$479.28 per single family unit. This fee is paid at building permit issuance. Credit will be granted for the removal of the one existing home.

Code Related Comments:

1. The fire flow requirement for a single family home is 1,000 gpm minimum for dwellings up to 3,600 square feet (including garage and basements). If the dwelling exceeds 3,600 square feet, a minimum of 1,500 gpm fire flow would be required. A minimum of one fire hydrant is required within 300-feet of the proposed buildings and two hydrants if the fire flow goes up to 1,500 gpm. A water availability certificate is required from Soos Creek Water and Sewer District.
2. Fire department apparatus access roadways are required to be a minimum of 20-feet wide fully paved, with 25-feet inside and 45-feet outside turning radius. Fire access roadways shall be constructed to support a 30-ton vehicle with 322-psi point loading. Access is required within 150-feet of all points on the buildings.

Police Review

Cyndie Parks Ph: 425-430-7521 email: cparks@rentonwa.gov

Recommendations: Minimal impact on Police services.